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February 21, 2025

Henry + Associates Project No. 23-34-026

ADDENDUM NO. 01
CULINARY LAB VENTURE ACADEMY
SAN JOAQUIN COUNTY OFFICE OF EDUCATION
Stockton, California



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Henry + Associates Architects

1. ALL WORKMANSHIP, MATERIALS, APPLIANCES AND EQUIPMENT which may be included in the following items shall be the same relative quality as described for similar work set forth in the original or main specifications of which these Addendum items shall be considered a part.
2. ADDENDUM DRAWINGS (included in the back of this Addendum).
The following Addendum drawings modify or supplement the issued bid documents:

AD1.01 replaces sheet A2.1.1.
AD1.02 replaces sheet A4.1.1.
AD1.03 replaces sheet S3.1.

3. PROJECT MANUAL:

A. No Changes.

4. DRAWINGS:

- A. AD1.01 replaces sheet A2.1.1.
- B. AD1.02 replaces sheet A4.1.1.
- C. AD1.03 replaces sheet S3.1.
- D. Delete sheet C1 entirely from drawing set.

5. OTHER:

A. The sign in sheet from the mandatory pre-bid meeting is attached to this addendum.

*** END OF ADDENDUM ***



SAN JOAQUIN COUNTY
OFFICE OF EDUCATION

Venture Academy Culinary Lab

SIGN IN SHEET

February 6, 2025

Contact Name	Company Name	Email	Phone
Andy Laughton	Mason Builders	alaughton@mason-builders.com	916-599-4973
Elmer Figueroa	Rodan Builders, Inc	Bids@Rodanbuilders.com	650-508-1700
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GENERAL NOTES

- THE DEMOLITION PLANS AND NOTES ARE GENERAL IN NATURE AND REPRESENT THE GENERAL DEMOLITION OR PROTECT-IN-PLACE SCOPE. IN EXISTING SPACES CONTRACTOR TO FIELD VERIFY QUANTITY AND LOCATION OF VARIOUS WALL OR CEILING MOUNTED ITEMS REQUIRED TO BE REMOVED OR PROTECTED IN PLACE AND MASKED FOR PAINTING. THE CONTRACTOR IS REQUIRED TO REMOVE OR PROTECT AND MASK IN PLACE ALL EXISTING DRY MARKER BOARDS, TACKBOARDS, CASEWORK, PROJECTION SCREENS, FIRE EXTINGUISHERS, WINDOW COVERINGS & TRACKS, LIGHT FIXTURES, FIRE ALARM DEVICES, INTERCOM SPEAKER OR ANY OTHER ITEM WHETHER SPECIFICALLY SHOWN OR NOT AND AS REQUIRED FOR INSTALLATION OF NEW FINISHES. SOME ITEMS WILL BE REQUIRED TO BE TEMPORARILY STORED AND PROTECTED FOR LATER INSTALLATION.
- NOT ALL OF THE EXISTING INTRUSION ALARM, DATA NETWORKING/DISTRIBUTION AND CLOCK/SPEAKER/INTERCOM COMPONENTS ARE SHOWN IN THE PLANS. THESE ITEMS ARE TO REMAIN AS INSTALLED AND SHALL BE MASKED USING PLASTIC SHEETING AND ANY OTHER PROTECTION MEASURES NECESSARY DURING CONSTRUCTION OPERATIONS AND PRIOR TO PAINTING. VERIFY WITH OWNER THE EXACT PROTECTION AND MASKING MEASURES AND LIMITATIONS PRIOR TO MASKING.

DEMOLITION NOTES

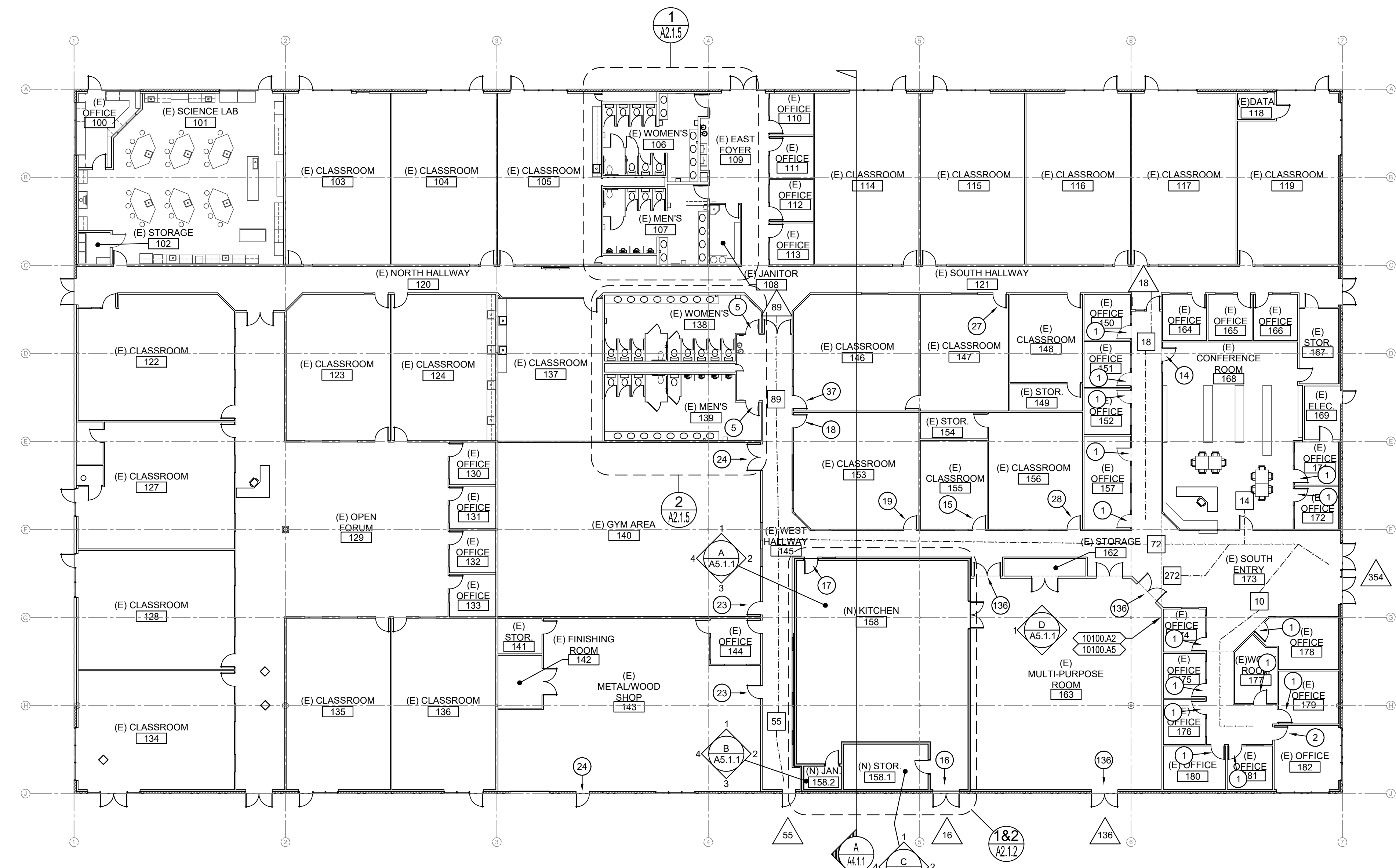
- NOTE: NOT ALL NOTES MAY BE USED
- DN.01 REMOVE (E) WALL FINISHES AND FRAMING COMPLETELY SHOWN SHADED, INCLUDING DISCONNECT AND REMOVE ALL ELECTRICAL DATA, COMMUNICATIONS, FIRE ALARM, LIGHTING AND POWER DEVICES. SIMILARLY DISCONNECT AND REMOVE ALL PLUMBING AND MECHANICAL ITEMS LOCATED WITHIN WALL.
 - DN.02 REMOVE (E) CEILING FINISHES AND FRAMING COMPLETELY SHOWN SHADED, INCLUDING DISCONNECT AND REMOVE ALL ELECTRICAL DATA, COMMUNICATIONS, FIRE ALARM, LIGHTING AND POWER DEVICES. DISCONNECT AND REMOVE ALL PLUMBING, MECHANICAL AND FIRE SPRINKLER ITEMS LOCATED IN AND ABOVE CEILING. SEE ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
 - DN.03 REMOVE (E) DOOR, SIDELIGHT PANEL, TRANSOM GLAZING AND ENTIRE FRAME. PROTECT IN PLACE AND SALVAGE ANY INTRUSION ALARM COMPONENTS FOR FUTURE INSTALLATION AND CONNECTION.
 - DN.04 REMOVE (E) CASEWORK. DISCONNECT AND REMOVE ALL PLUMBING AND ELECTRICAL WITHIN CASEWORK.
 - DN.05 REMOVE (E) FLOOR FINISHES.
 - DN.06 SAWCUT AND REMOVE (E) CONCRETE SLAB FLOOR SHOWN HATCHED.
 - DN.07 REMOVE (E) MECHANICAL GRILLES AND DUCTWORK ABOVE.
 - DN.08 DISCONNECT AND REMOVE (E) WATER HEATER.
 - DN.09 REMOVE (E) LIGHT FIXTURES AT CEILING TYPICAL - SEE ELECTRICAL.
 - DN.10 DISCONNECT AND REMOVE (E) ROLL UP COUNTER DOOR.
 - DN.11 DISCONNECT AND REMOVE (E) STOVE AND EXHAUST HOOD.
 - DN.12 DISCONNECT AND REMOVE (E) PLUMBING FIXTURES, FLOOR SINKS, DRAINS, ETC.
 - DN.13 REMOVE (E) SUSPENDED ACOUSTICAL CEILING PANELS AND GRID SYSTEM INCLUDING LIGHTING, FIRE SPRINKLERS AND MECHANICAL IN AND ABOVE CEILING. SEE ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
 - DN.14 REMOVE (E) MECHANICAL GRILLES AND DUCTWORK ABOVE. THREE MORE LOCATIONS NOT SHOWN.
 - DN.15 DISCONNECT AND REMOVE (E) MECHANICAL EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - DN.16 REMOVE (E) SKYLIGHT AND CURB.
 - DN.17 REMOVE (E) PAIR OF DOORS, FRAME TO REMAIN.

SHEET NOTES

- (NOTE: NOT ALL NOTES MAY BE USED)
- SN.01 (E) FLOOR FINISHES TO BE PROTECTED DURING CONSTRUCTION OPERATIONS
 - SN.02 PATCH AND REPAIR FLOORING ALONG NEW WALL. INSTALL NEW RUBBER BASE.
 - SN.03 REPAIR (E) SUSPENDED ACOUSTICAL CEILING GRID AT NEW WALL AND WHERE HVAC DIFFUSERS AND MECHANICAL IN AND ABOVE CEILING. SEE ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.

KEYNOTES

- 03300 CONCRETE
- 03300.A1 new concrete slab per structural, dowel into (e) slab.
- 05500 METAL
- 05500.A1 existing steel pipe column-paint.
- 06200 CARPENTRY
- 06200.A1 frame new walls shown shaded
- 06200.A2 frame and sheath over opening where door was removed.
- 06200.A3 frame and sheath over opening where skylight was removed.
- 06200.A4 (e) beam
- 07210 THERMAL INSULATION
- 07210.A1 R-38 insulation above acoustical ceiling.
- 07210.A2 R-21.5 insulation at walls.
- 07540 SINGLE PLY MEMBRANE ROOFING
- 07540.A1 (e) 80-mil single ply membrane roofing.
- 07540.A2 cut, patch and flash in new equipment curbs into existing single ply roofing system. see details 4/A8.1.1 and 5/A8.1.1.
- 07540.A3 cut and patch in roofing where skylight was removed.
- 07540.A4 (n) 80-mil walk pads shown shaded. see detail 3/A8.1.1
- 07540.A5 heated stack. see detail 2/A8.1.1
- 07540.A6 pipe vent. see detail 1/A8.1.1
- 08000 WINDOWS AND DOORS
- 08000.A1 (e) door
- 08000.A2 (n) hollow metal door, frame and hardware.
- 08000.A3 (n) hollow metal door and hardware in (e) hollow metal frame
- 09510 ACOUSTICAL CEILINGS
- 09510.A1 acoustical ceiling type A1-fine fissured.
- 09510.A2 acoustical ceiling type A2-vinyl rock.
- 09290 GYPSUM BOARD
- 09290.A1 gypsum wallboard-painted
- 09650 RESILIENT FLOORING AND BASE
- 09650.A1 vinyl composition tile
- 09650.A2 4" covered rubber base
- 09670 RESINOUS FLOORING
- 09670.A1 resinous flooring and wall coating
- 09670.A2 resinous flooring cove up wall 6"
- 09720 FIBERGLASS REINFORCED WALL PANELS
- 09720.A1 FRP wall panel type FRP1
- 10100 SIGNAGE
- 10100.A1 room identification signage per details 2A0.1 and 3/A0.1
- 10100.A2 occupancy sign; provide occupancy sign: "THE NUMBER OF PEOPLE PERMITTED IN THIS ROOM SHALL NOT EXCEED 406 ASSEMBLY AND 290 DINING".
- 10100.A3 tactile exit sign per detail 3/A0.1
- 10100.A4 not used
- 10100.A5 assistive listening device sign: to read "LISTENING DEVICE AVAILABLE".
- 10200 FURNITURE & EQUIPMENT
- 10200.A1 UL rated class K 2-A wet chemical fire extinguisher with 2.5 lb. capacity
- 11400 FOOD SERVICE EQUIPMENT
- 11400.A1 food service equipment
- 11400.A2 exhaust hood
- 11400.A3 stainless steel wall lining
- 11400.A4 side by side washer and dryer units - owner furnished, contractor installed. top loading machines shall have the door to the laundry compartment located 36 inches (914 mm) maximum above the finish floor. front loading machines shall have the bottom of the opening to the laundry compartment located 15 inches (381 mm) minimum and 36 inches (914 mm) maximum above the finish floor.
- 11520 PROJECTION SCREENS
- 11520.A1 type 1 electric operated projection screen with ceiling trim kit for recessed installation into suspended acoustical ceiling.
- 11502.A2 projector mount; universal suspended ceiling mount kit for mounting projector in suspended acoustical ceiling; projector only is OFCI (owner furnished, contractor installed)
- 22000 PLUMBING
- 22000.A1 water heater
- 22000.A2 floor sink
- 22000.A3 mop sink
- 23000 HEATING, VENTILATING AND AIR CONDITIONING
- 23000.A1 HVAC unit
- 23000.A2 duct diffusers
- 26000 ELECTRICAL GENERAL REQUIREMENTS
- 26000.A1 electrical panel
- 26000.A2 light fixture



1 EXIT ANALYSIS FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 0 8' 32'
 4 16'

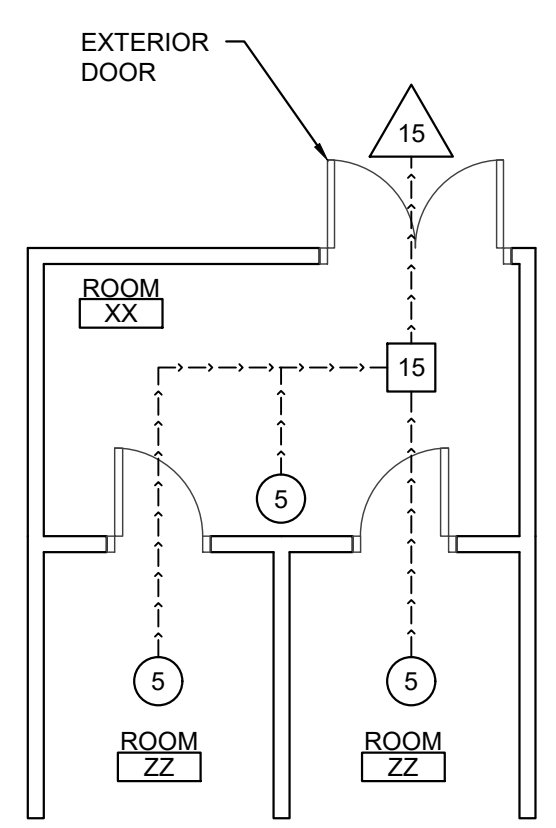
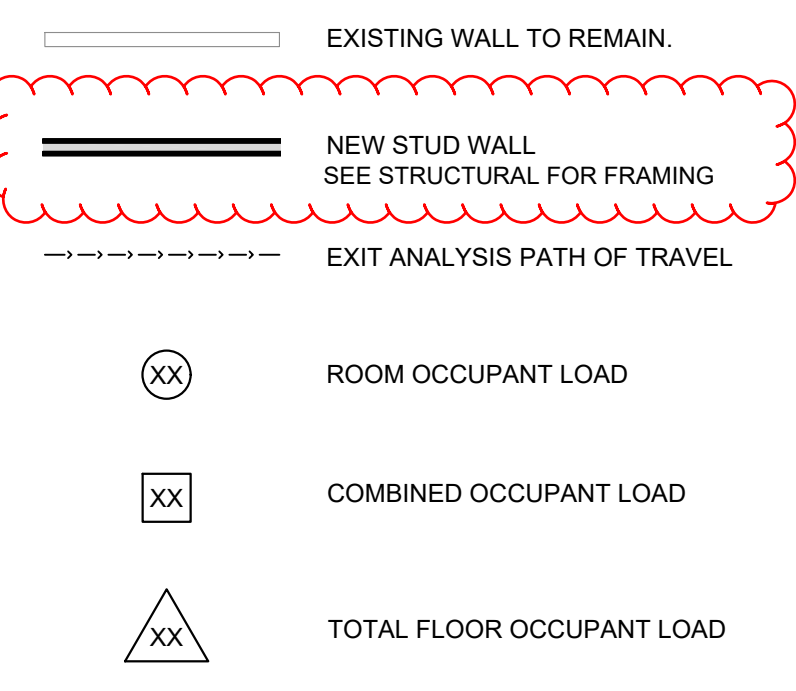
ROOM NUMBER	NAME	AREA (SF)	COSTRUCT. TYPE	OCCUPANCY GROUP	OCCUPANCY LOAD FACTOR (SF/OCC.)	OCCUPANCY LOAD	EXIT WIDTH REQUIRED (INCHES)	EXIT WIDTH PROVIDED (INCHES)	REQ. # OF EXITS	# OF EXITS PROVIDED
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(PER CBC TABLE 1004.1.2)

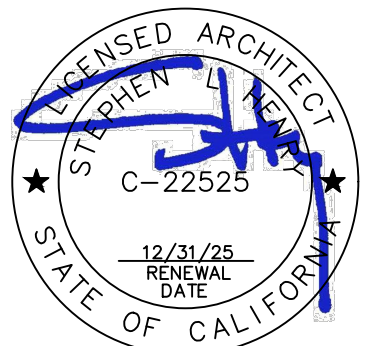
138	Women's	491	V-B	E	100	5	36	72	1	1
139	Men's	497	V-B	E	100	5	36	72	1	1
140	Gym Area	2356	V-B	E	50	47	36	72	1	2
141-144	Metal/Wood Shop	2341	V-B	E	50	47	36	72	1	2
145	Hallway	1756	V-B	E	100	18				
146	Classroom	746	V-B	E	20	37	36	36	1	1
150	Office	109	V-B	E	150	1	36	36	1	1
151	Office	109	V-B	E	150	1	36	36	1	1
152	Office	109	V-B	E	150	1	36	36	1	1
153	Classroom	746	V-B	E	20	37	36	72	1	2
154	Stor.	91	V-B	E	300	1	36	36	1	1
155	Classroom	305	V-B	E	20	15	36	36	1	1
156	Classroom	565	V-B	E	20	28	36	36	1	1
157	Office	222	V-B	E	150	2	36	72	1	2
158	(N) Culinary Lab	1665	V-B	E	50	33	36	108	1	2
159	Laundry	72	V-B	E	300	1	36	36	1	1
160	Stor.	325	V-B	E	300	1	36	36	1	1
162	Stor.	74	V-B	E	300	1	36	36	1	1
163	Multi-Purpose	2033	V-B	A-2	5	407	82	216	2	3
168	Library	1299	V-B	E	50	26	36	1	1	1
171	Office	97	V-B	E	150	1	36	1	1	1
172	Office	97	V-B	E	150	1	36	1	1	1
173	South Entry	1073	V-B	E	100	11				
174	Office	93	V-B	E	150	1	36	1	1	1
175	Office	96	V-B	E	150	1	36	1	1	1
176	Office	96	V-B	E	150	1	36	1	1	1
177	Work Room	131	V-B	E	150	1	36	1	1	1
178	Office	186	V-B	E	150	1	36	1	1	1
179	Office	179	V-B	E	150	1	36	1	1	1
180	Office	140	V-B	E	150	1	36	1	1	1
181	Office	102	V-B	E	150	1	36	1	1	1
182	Office	224	V-B	E	150	2	36	1	1	1

GRAPHIC KEY

WALL TYPES:



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CULINARY LAB
 VENTURE ACADEMY

EXIT ANALYSIS
 FLOOR PLAN

CONSULTANT

PROJECT NO.	REVISIONS	BY
23-34-026		
DATE		
02/29/2024		
DRAWN		
SLH		
CHECKED		
SLH		
SCALE		
AS SHOWN		
CADFILE		
UPDATED		
SHEET NO.		

A2.1.1

ADDENDUM DRAWING AD1.01

GENERAL NOTES

1. THE DEMOLITION PLANS AND NOTES ARE GENERAL IN NATURE AND REPRESENT THE GENERAL DEMOLITION OR PROTECT-IN-PLACE SCOPE. IN EXISTING SPACES CONTRACTOR TO FIELD VERIFY QUANTITY AND LOCATION OF VARIOUS WALL OR CEILING MOUNTED ITEMS REQUIRED TO BE REMOVED OR PROTECTED IN PLACE AND MASKED FOR PAINTING. THE CONTRACTOR IS REQUIRED TO REMOVE OR PROTECT AND MASK IN PLACE ALL EXISTING DRY MARKER BOARDS, TACKBOARDS, CASEWORK, PROJECTION SCREENS, FIRE EXTINGUISHERS, WINDOW COVERINGS & TRACKS, LIGHT FIXTURES, FIRE ALARM DEVICES, INTERCOM SPEAKER OR ANY OTHER ITEM WHETHER SPECIFICALLY SHOWN OR NOT AND AS REQUIRED FOR INSTALLATION OF NEW FINISHES. SOME ITEMS WILL BE REQUIRED TO BE TEMPORARILY STORED AND PROTECTED FOR LATER INSTALLATION.
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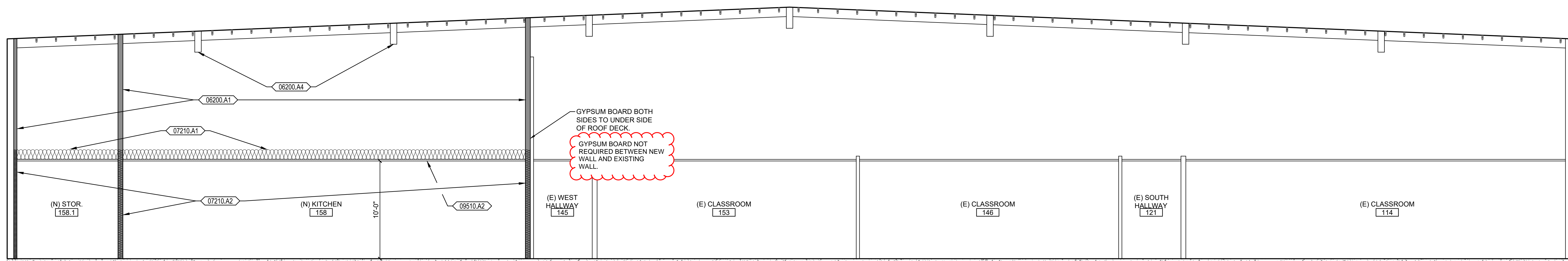
SHEET NOTES

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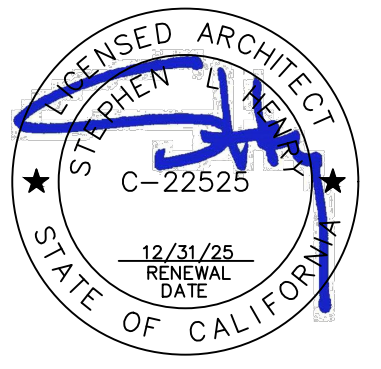
KEYNOTES

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- 03300.A1 new concrete slab per structural, dowel into (e) slab.
- 05500 METAL
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- 09650.A2 4" coved rubber base
- 09670 RESINOUS FLOORING
- 09670.A1 resinous flooring and wall coating
- 09670.A2 resinous flooring cove up wall 6"
- 09720 FIBERGLASS REINFORCED WALL PANELS
- 09720.A1 FRP wall panel type FRP1
- 10100 SIGNAGE
- 10100.A1 room identification signage per details 2A0.1 and 3/A0.1
- 10100.A2 occupancy sign; provide occupancy sign: "THE NUMBER OF PEOPLE PERMITTED IN THIS ROOM SHALL NOT EXCEED 406 ASSEMBLY AND 290 DINING".
- 10100.A3 tactile exit sign per detail 3/A0.1
- 10100.A4 not used.
- 10100.A5 assistive listening devise sign: to read "LISTENING DEVICE AVAILABLE".
- 10200 FURNITURE & EQUIPMENT
- 10200.A1 UL rated class K 2-A wet chemical fire extinguisher with 2.5 lb. capacity
- 11400 FOOD SERVICE EQUIPMENT
- 11400.A1 food service equipment
- 11400.A2 exhaust hood
- 11400.A3 stainless steel wall lining
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- 23000.A1 HVAC unit
- 23000.A2 duct diffusers
- 26000 ELECTRICAL GENERAL REQUIREMENTS
- 26000.A1 electrical panel
- 26000.A2 light fixture



A BUILDING SECTION
 SCALE: 3/16" = 1'-0"

730 Howe Avenue, Suite 450
 Sacramento, CA 95825
 Phone: 916.921.2112
 Fax: 916.921.2212



CULINARY LAB
 VENTURE ACADEMY
 BUILDING SECTION

CONSULTANT

PROJECT NO.	REVISIONS	BY
23-34-026		
DATE		
02/29/2024		
DRAWN		
SLH		
CHECKED		
SLH		
SCALE		
1/4"=1'-0"		
CADFILE		
UPDATED		

SHEET NO.
A4.1.1
 ADDENDUM DRAWING AD1.02



ENLARGED PARTIAL ROOF FRAMING PLAN
1/4" = 1'-0"

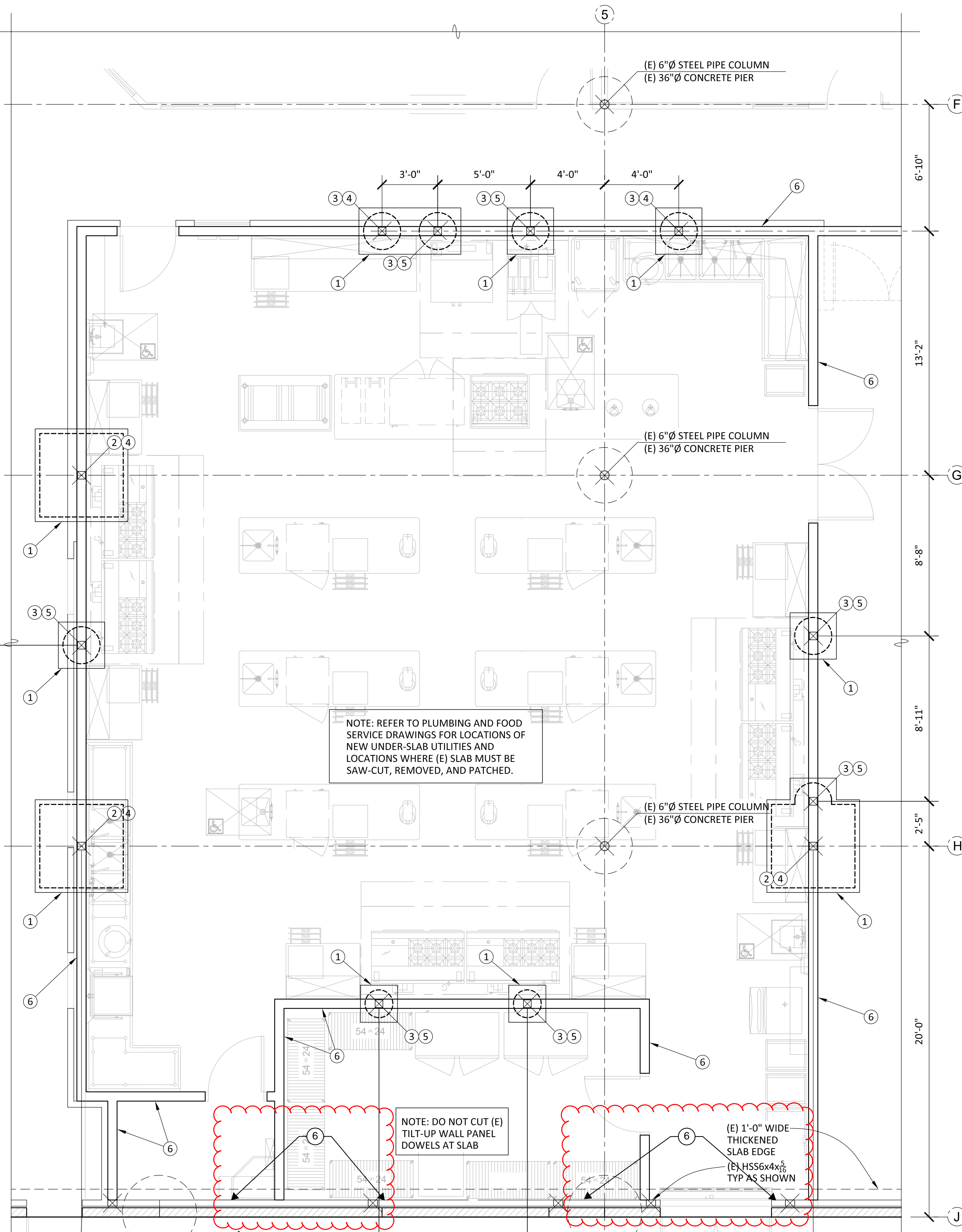
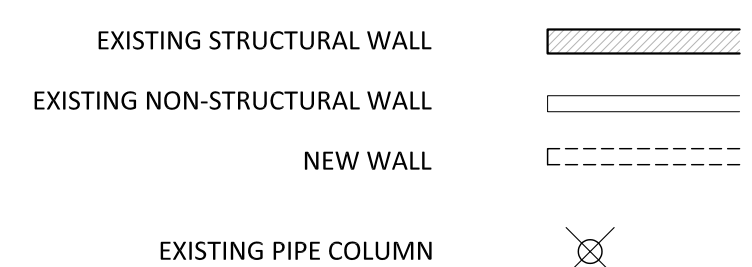
ENLARGED PARTIAL ROOF FRAMING PLAN KEYNOTES:

- 1 EXISTING ROOF TOP EQUIPMENT TO REMAIN
- 2 NEW ROOF TOP EQUIPMENT TO BE ADDED, WEIGHT INDICATED IN PARENTHESIS - SEE MECHANICAL DRAWINGS
- 3 NEW ROOF TOP EXHAUST FAN TO BE ADDED, 150 LB MAX - SEE MECHANICAL DRAWINGS
- 4 NEW HSS POST UNDER EXISTING BEAM - SEE PARTIAL FOUNDATION PLAN FOR LOCATION - SEE A3/S4.1 FOR TOP CONNECTION AT EXISTING 4x12 AND SEE 5/S4.1 FOR TOP CONNECTION AT EXISTING GL GIRDER
- 5 NEW HSS COLUMN WITH WELDED OUTRIGGER TO SUPPORT NEW KITCHEN HOOD - SEE A1/S4.1 TO A3/S4.1 AND 5/S4.1 FOR CONNECTION AT TOP
- 6 NEW SISTERED 2x6 JOISTS AT NEW HOOD - FASTEN WITH 2-10d @ 16"cc ALONG FULL LENGTH
- 7 NEW NEW HOOD BELOW, WEIGHT INDICATED IN PARENTHESIS - SEE FOOD SERVICE DRAWINGS
- 8 NEW EQUIPMENT TO BE PLACED ON EXISTING CURB, WEIGHT INDICATED IN PARENTHESIS - SEE MECHANICAL DRAWINGS
- 9 REINFORCE EXISTING 4x12 PURLINS PER 3/S4.1, TYP
- 10 TOP CONNECTION AT (N) HSS TO (N) 4x8 BLOCK PER A1/S4.1
- 11 TOP CONNECTION AT (N) HSS TO (N) 4x8 BLOCK PER A2/S4.1
- 12 TOP CONNECTION AT (N) HSS TO (E) 4x12 PER A3/S4.1
- 13 TOP CONNECTION AT (N) HSS TO (E) GL GIRDER PER 5/S4.1
- 14 NEW 4x8 BLOCK

ENLARGED PARTIAL ROOF FRAMING PLAN NOTES:

1. CONTRACTOR SHALL COORDINATE ALL WORK CONTAINED HEREIN WITH ALL PROJECT WORK BY OTHERS INCLUDING CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING.
2. STRUCTURAL SCOPE IS LIMITED TO MISCELLANEOUS FRAMING MODIFICATIONS TO ACCOMMODATE THE KITCHEN UPGRADE.

ENLARGED PARTIAL ROOF FRAMING PLAN LEGEND:



ENLARGED PARTIAL FOUNDATION PLAN
1/4" = 1'-0"

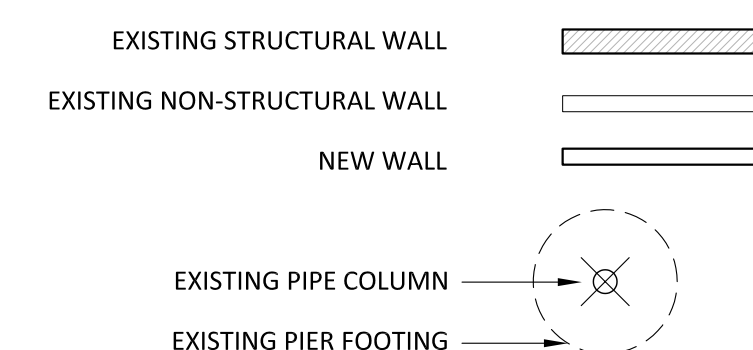
ENLARGED PARTIAL FOUNDATION PLAN KEYNOTES:

- 1 EDGE OF SAW-CUT SLAB FOR NEW FOOTING
- 2 NEW 4'-6"x4'-6"x2'-6" SPREAD FOOTING AT NEW COLUMN LOCATION
- 3 NEW 2'-0"x2'-6" DEEP PIER FOOTING AT NEW COLUMN LOCATION
- 4 NEW HSS5x5x3/8 COLUMN UNDER EXISTING BEAM - SEE 2/S4.1 & 6/S4.1
- 5 NEW HSS5x5x3/8 COLUMN WITH WELDED OUTRIGGER TO SUPPORT NEW KITCHEN HOOD - SEE A/S4.1
- 6 NEW WOOD FRAMED WALL WITH 1 1/2"x5 1/2" LVL STUDS @ 12"cc SEE 2/S0.2 FOR FRAMING AT OPENINGS SEE 10A/S4.1 AND 10B/S4.1 FOR CONNECTION AT ROOF FRAMING FOR FULL HEIGHT WALLS AND 6/S0.2 FOR PARTIAL HEIGHT WALLS SEE 11/S4.1 FOR CONNECTION AT SLAB SEE ARCHITECTURAL DRAWINGS FOR HEIGHT AND EXACT LAYOUT - PERIMETER WALLS ARE FULL HEIGHT, UNO

ENLARGED PARTIAL FOUNDATION PLAN NOTES:

1. CONTRACTOR SHALL COORDINATE ALL WORK CONTAINED HEREIN WITH ALL PROJECT WORK BY OTHERS INCLUDING CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING.
2. STRUCTURAL SCOPE IS LIMITED TO MISCELLANEOUS FRAMING MODIFICATIONS TO ACCOMMODATE THE KITCHEN UPGRADE.

ENLARGED PARTIAL FOUNDATION PLAN LEGEND:



FOR CUTTING AND PATCHING OF EXISTING CONCRETE SLAB - SEE 12/S4.1

730 Howe Avenue, Suite 450
Sacramento, CA 95825
Phone: 916.921.2112
Fax: 916.921.2212



CULINARY LAB VENTURE ACADEMY
ENLARGED PARTIAL FOUNDATION PLAN & ENLARGED PARTIAL ROOF FRAMING PLAN

CONSULTANT
RW Engineers Inc
1450 HARBOR BLVD SUITE F
WEST SACRAMENTO, CA 95691
916.716.6910



4/10/2024

PROJECT NO.	REVISIONS	BY
23-34-026		
DATE		
4/10/2024		
DRAWN		
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SCALE		
CADFILE		
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SHEET NO.

S3.1